

Community Infrastructure Levy: Draft Charging Schedule – Statement of Modifications (April 2017)

Community Infrastructure Levy: Draft Charging Schedule

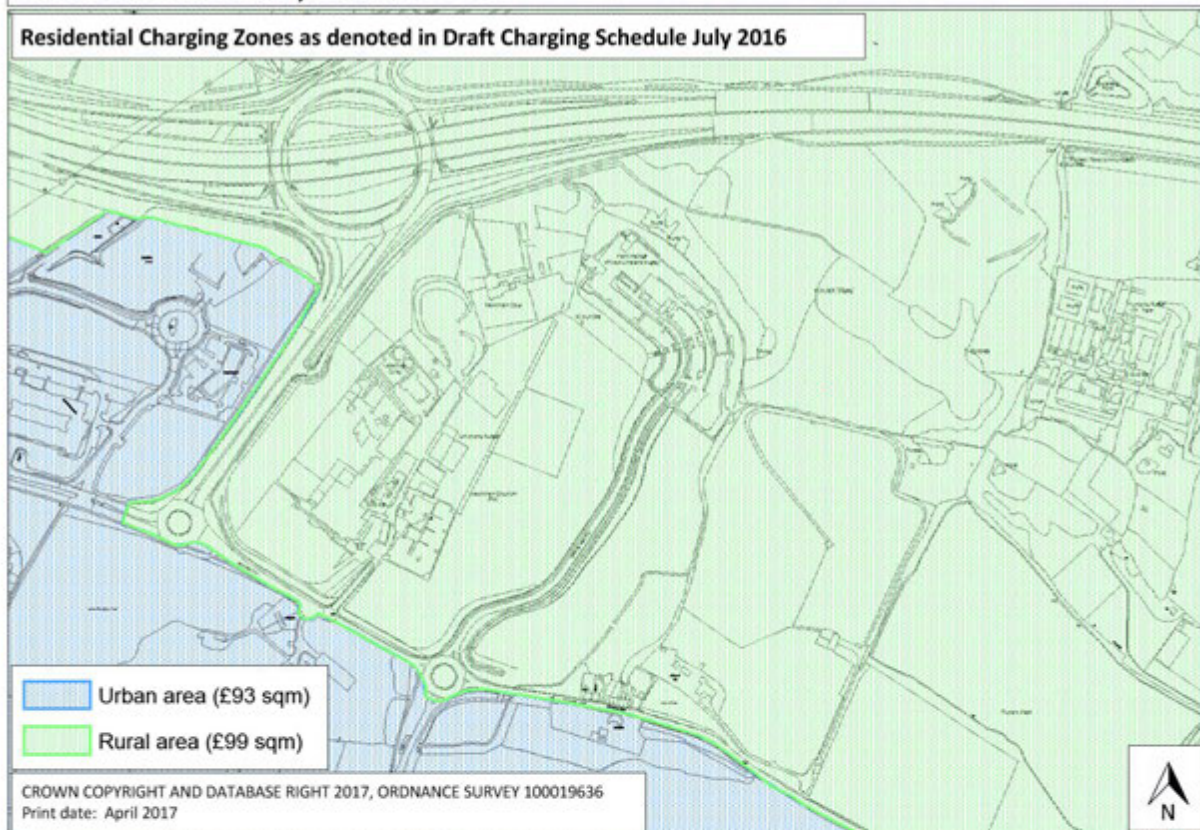
Statement of Modifications

- 1.1 Through the period of the Maidstone Borough Local Plan (MBLP) (2011 – 2031) examination a series of modifications to the submitted MBLP have been developed and discussed at the hearings. Following receipt of the Inspector's Interim Findings Report in December 2016, and an additional hearing session specifically to discuss the proposed modifications, the "Schedule of Main Modifications to the Maidstone Borough Local Plan" has been published for consultation between 31 March and 19 May 2017.
- 1.2 Alongside the Schedule of Main Modifications, the council has also published for consultation a "Schedule of Minor Changes to the Maidstone Borough Local Plan" which incorporates a number of changes to the Policies Map. Two of the changes to the Policies Map affect the Urban Boundary and are therefore relevant to the Draft Charging Schedule: specifically Figure 1 on page 11 which denotes the geographies of the urban and rural Residential Charging Zones based on the Urban Boundary.
- 1.3 At MBLP Site RMX1 (1) Newnham Park, the Urban Boundary has been amended to include the allocated site within the Urban Boundary (Minor Change reference M19/1). Additionally, given the deletion of MBLP Site H1 (53) Boughton Lane, in accordance with the Inspector's Interim Findings, the Urban Boundary has been amended to exclude this land from the Urban Area (Minor Change reference M19/10).
- 1.4 This Statement therefore sets out the proposed modifications to the Draft Charging Schedule at Figure 1 on page 11, which are required to reflect these proposed modifications to the MBLP Policies Map.
- 1.5 Modification 1 shows the proposed modification to the Residential Charging Zones at MBLP Site RMX1 (1) Newnham Park which reflects proposed MBLP Minor Change M19/1.
- 1.6 Modification 2 shows the proposed modification to the Residential Charging Zones near Boughton Lane which reflects proposed MBLP Minor Change M19/10.
- 1.7 Relevant extracts from the Schedule of Minor Changes to the Maidstone Borough Local Plan are appended to this Statement.

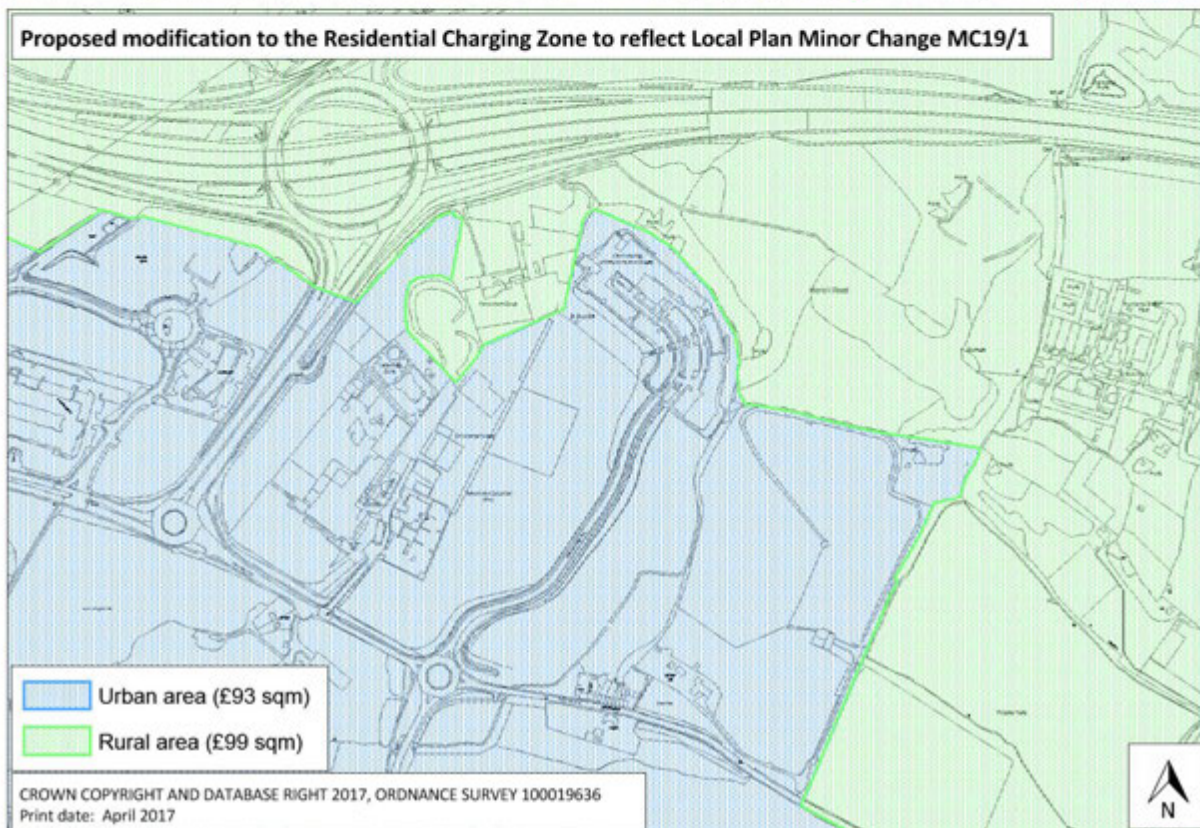
Community Infrastructure Levy: Draft Charging Schedule – Statement of Modifications (April 2017)

Proposed Modification 1 to the Draft Charging Schedule Figure 1 Residential Charging Zone: Newnham Park, Maidstone

Residential Charging Zones as denoted in Draft Charging Schedule July 2016



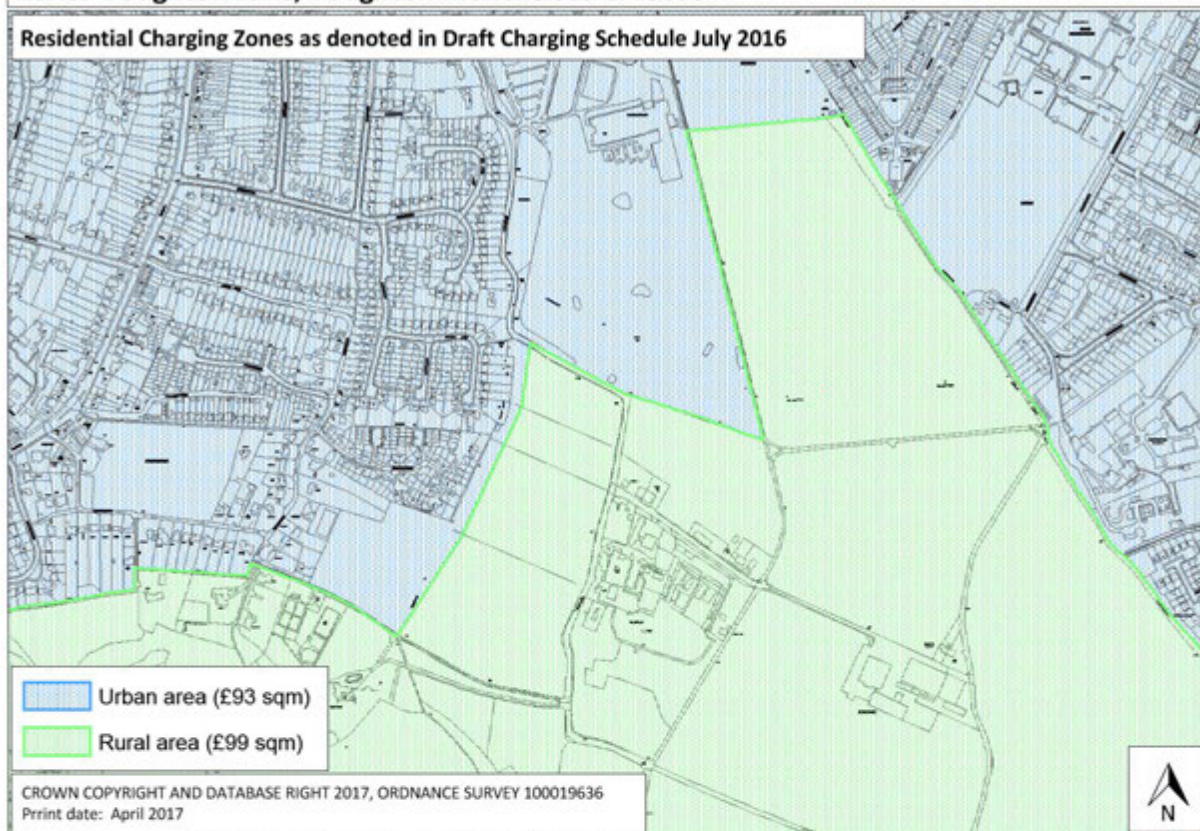
Proposed modification to the Residential Charging Zone to reflect Local Plan Minor Change MC19/1



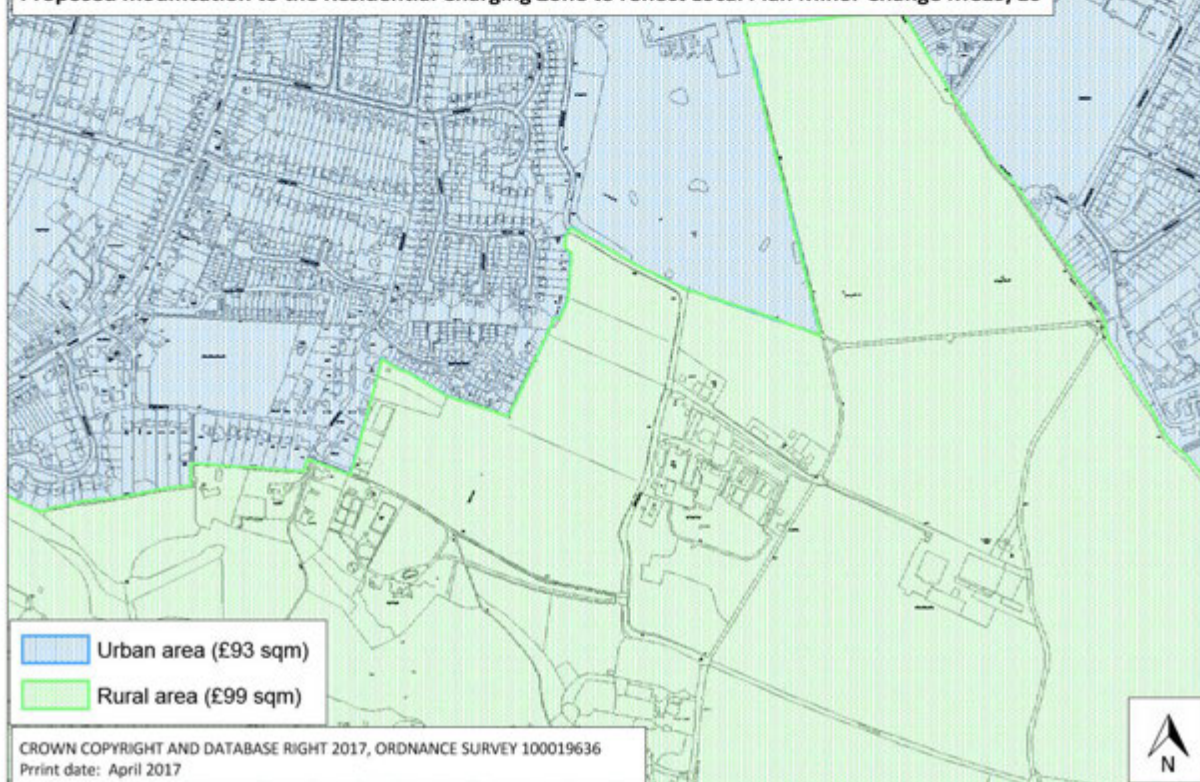
Community Infrastructure Levy: Draft Charging Schedule – Statement of Modifications (April 2017)

Proposed Modification 2 to the Draft Charging Schedule Figure 1 Residential Charging Zone: Boughton Lane, Boughton Monchelsea & Loose

Residential Charging Zones as denoted in Draft Charging Schedule July 2016



Proposed modification to the Residential Charging Zone to reflect Local Plan Minor Change MC19/10



Community Infrastructure Levy: Draft Charging Schedule – Statement of Modifications (April 2017)

Appendix: Extracts from the Schedule of Minor Changes to the Maidstone Borough Local Plan March 2017 to show relevant proposed changes to the Urban Boundary in the MBLP Policies Map.

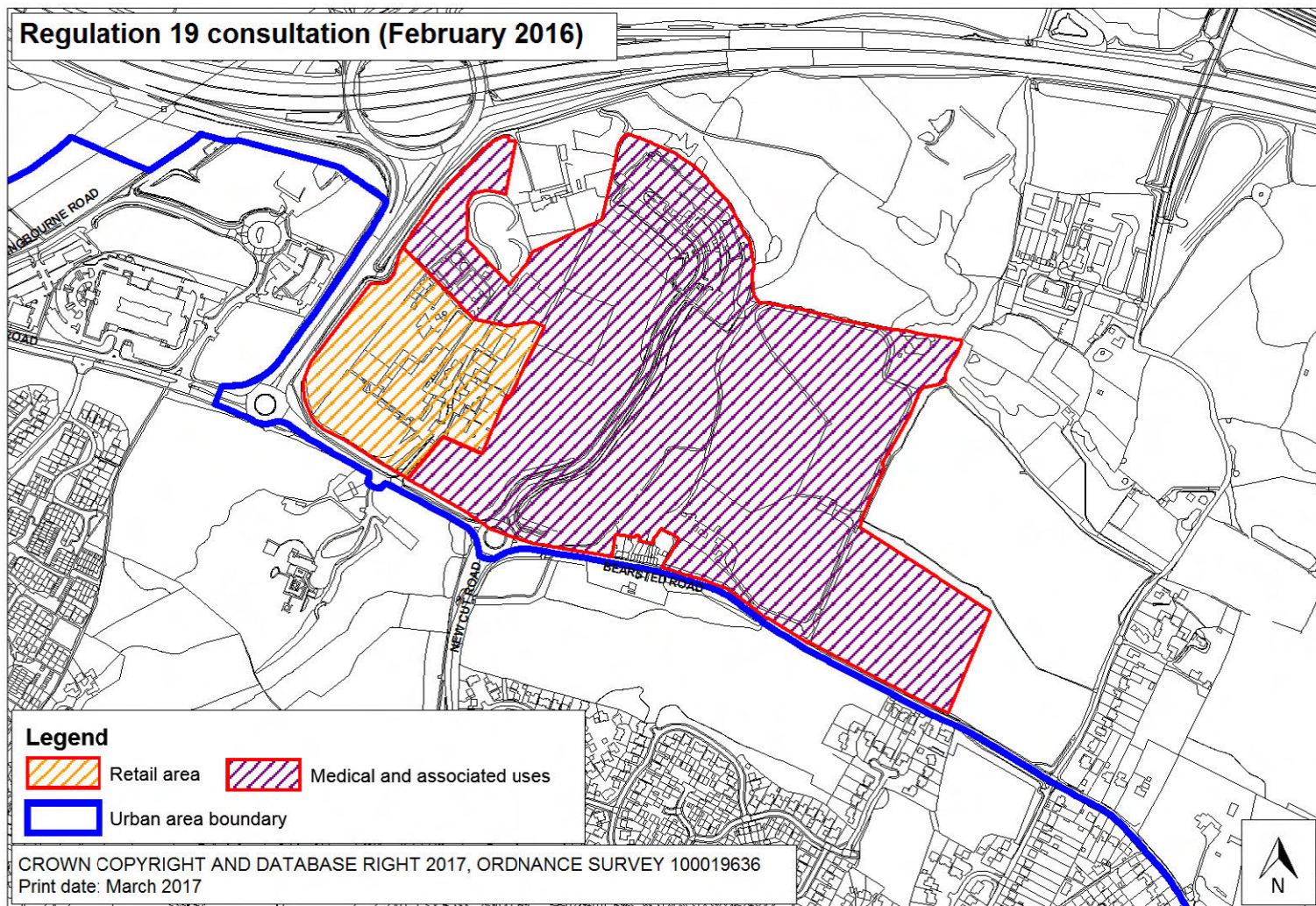
Minor Change Number	Related Policy Number	PC/or Action Point ref.	Proposed Minor Change text	Reason
MC13	Policy DM22 19 Publicly accessible open space and recreation		Amend Policy DM22 19 criterion to 7 to read: 7. Proposals for new development which would result in the net loss of <u>existing</u> open space or sport and recreation facilities will not be permitted unless there is a proven overriding need for the development.	Clarification of text
MC14	Policy DM23 0 Community Facilities	PC/53	Amend Policy DM23 0 criterion 1 to read: "Residential development which would generate a need for new community facilities, or for which spare capacity in such facilities does not exist, will not be permitted unless the provision of new, extended or improved facilities (or a contribution towards such provision) is secured <u>as appropriate</u> by planning conditions, or through legal agreement <u>or through the Community Infrastructure Levy</u> . unless the specific facilities are identified for delivery through the Community Infrastructure Levy ".	Clarification of text
MC15	Policy DM24 21 Sustainable transport supporting text	PC/54	Amend paragraph 17.126 to read: "...at the first review of the local plan (which will <u>be completed</u> commence in by 2022 April 2021)."	Consequential change arising from Main Modification (MM60)
MC16	Policy DM42 38 Supporting text	Action 11.7	Amend supporting text at paragraph 19.30 as follows: Holiday caravan and camp sites provide alternative forms of accommodation which can add to the tourist attraction of the borough. The National Planning Policy Framework recognises the importance of sustainable tourism for a prosperous rural economy. However, the provision of tourist facilities must be balanced against the need to protect the quality of the countryside for the sake of its intrinsic character and beauty. Holiday caravan and camp sites should be located outside the borough's most sensitive landscape areas, in particular outside the Kent Downs AONB, and should not be prominent in the landscape and should be well screened. Proposals must also accord with criteria set out in Policy SP17 in relation to Areas of Outstanding Natural Beauty and Green Belt.	Clarification of text
MC17	Policy DM43 39 Caravan Storage in the Countryside	Action 11.8	Amend Policy DM43 39 Criterion 2 as follows: 2. Prior to use of the site commencing, it is comprehensively screened, where possible with indigenous species, on a year round basis. The screening may include bunds, tree and shrub planting and fencing in appropriate locations, and there will be no unacceptable impact on the landscape or environment. The site is already well screened year round by buildings and/or planting and that screening is to be reinforced as necessary with planting by indigenous species.	Clarification of text
MC18	Glossary	PC/125	The Council will insert a definition into the glossary of the Local Plan as follows: <u>Net Density:</u> <i>Residential density is typically defined as the number of dwellings per hectare (dph) and is measured as "net" or "gross". Net density refers to the number of dwellings per hectare on land devoted solely to residential development and associated access roads and car parking. Land to be used for strategic open space/ green infrastructure, education, employment, community facilities (including health care provision) and environmental mitigation is excluded from the density calculation.</i>	Clarification of text
MC19	Policies map/Inset maps	PC/47; PC/83; PC/70; PC/117; Action 8.6; PC/14	Policies Map amendments: (The Policy reference numbers relate to the Regulation 19 version of the Local Plan) 1. RMX1(1) Newnham Court - Amend the urban boundary to include the site on the Policies Map. Amend the policies map to identify the area excluded from built development.	Correction of errors

Minor Change Number	Related Policy Number	PC/or Action Point ref.	Proposed Minor Change text	Reason
		PC/17 PC/20 PC/37 PC/87 PC/88	<p>2. EMP1(5) Woodcut Farm - Amend site allocation boundary to exclude the farm buildings from the landscape area and also to identify the highest part of the site on the Policies Map</p> <p>3. Policies map to be amended to show the extent of the Minerals Safeguarding Area as shown on the map on page 165 of the Kent Minerals and Waste Local Plan (2016). [no map]</p> <p>4. Policy DM21 (to become SP22) Economic Development Areas – amendments to the EDA boundaries for the following sites:</p> <ul style="list-style-type: none"> a) Parkwood Industrial Estate, Maidstone b) Tovil Green Business Park/Burial Ground Lane, Tovil c) Pattenden Lane, Marden d) Detling Airfield e) Marley Works, near Lenham f) Barradale Farm, near Headcorn g) Hart Street Commercial Centre, Hart Street, Maidstone h) Bearsted Green Business Centre (The Old Forge), Bearsted i) Gallants Business Centre, East Farleigh j) Woodfalls Industrial Estate, Laddingford k) Warmlake Business Estate, near Sutton Valence l) Bredhurst Business Park, Westfield Sole Road, m) Brooklyn Yard, Sandling, Maidstone n) South Park Business Village, Maidstone o) Turkey Mill Court, Maidstone <p>5. The Mall and Riverside quarter sites to be defined on the Policies Map and to have defined boundaries as set out in the Town Centre Study (CEN 002).</p> <p>6. Addition of Local/District Centre DM18 2.xii Mangravet, Sutton Road/Mangravet Avenue</p> <p>7. H1(42) Tanyard Farm, Old Ashford Road, Lenham – Add additional open space allocation either side of PROW KH433</p> <p>8. H1(8) West of Church Road – Add additional open space allocation OS1(18)</p>	

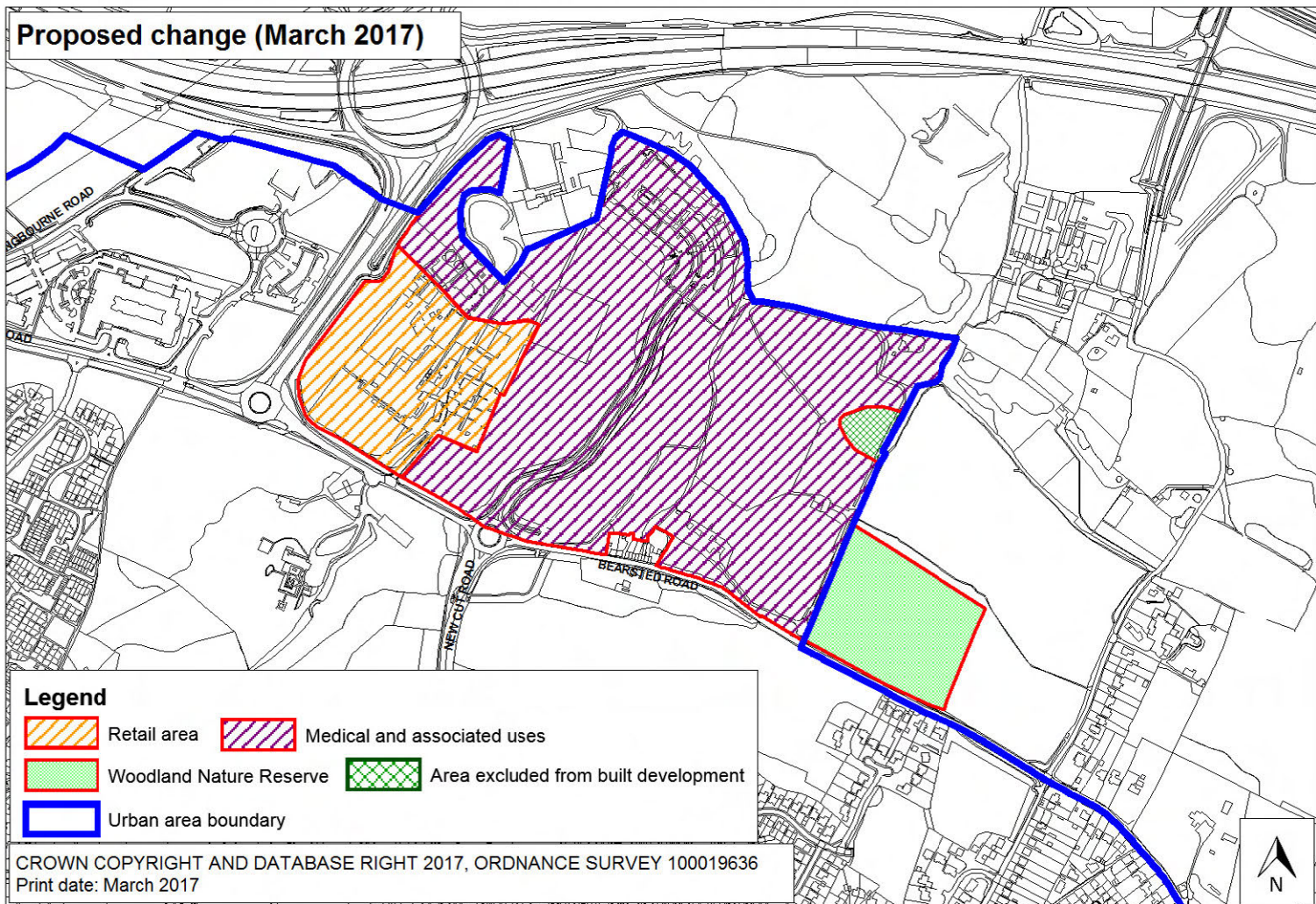
Minor Change Number	Related Policy Number	PC/or Action Point ref.	Proposed Minor Change text	Reason
			<p>9. H1(29) New Line Learning, Boughton Lane, Maidstone – delete housing allocation</p> <p>10. H1(53) Boughton Lane, Boughton Monchelsea & Loose – delete housing allocation and associated open space allocation OS(15); amend urban boundary</p> <p>11. H1 (37) Ulcombe Road and Mill Bank, Headcorn - site boundary to the south amended to include an access road</p> <p>12. H1(65) Adjacent to The Windmill PH, Eyehorne Street, Hollingbourne – amend site area to exclude 3rd party land</p> <p>13. H1(51) North of Henhurst Farm, Staplehurst – revision to area of open space and associated change to map key.</p> <p>14. RMX1(4) Former Syngenta works, Yalding – amend site allocation to identify land with potential for development. Revise open space allocation.</p> <p>15. RMX1 Baltic Wharf – add site allocation to the policies map</p> <p>16 Delete Lenham broad location inset map (page 169 of Regulation 19 version of the Maidstone Borough Local Plan) [no map]</p> <p>Inset Maps amendments:</p> <p>17 Inset Map SP6 Harrietsham - amend OS(4) to read OS1(6); - amend OS(5) to read OS1(7);</p> <p>18 Inset Map SP7 Headcorn - Include DM21 <u>SP22</u> xi. Barradale Farm in the north west corner of the inset map - H1 (37) site boundary amended to include an access road. - Amend OS(12) to read OS1(11); - Amend inset map key 'Local <u>District</u> Retail Centre'</p> <p>19 Inset Map SP8 Lenham - Amend boundary of DM21 <u>SP22</u> x. Marley works - Amend inset map key 'Local <u>District</u> Retail Centre' - Amend inset map title to 'Lenham Rural Service Centre and Broad Location for Housing Growth' - add text to inset map: 'Settlement boundary to be reviewed alongside the allocation of 1,000 dwellings and associated infrastructure at the broad location'</p> <p>20 Inset Map SP9 Marden - Amend boundary of DM21 <u>SP22</u> vii. Pattenden Lane - Amend OS(7) to read OS1(8); - Amend inset map key 'Local <u>District</u> Retail Centre'</p> <p>21 Inset Map SP10 Staplehurst</p>	

RMX1 (1) - Newnham Park, Bearsted Road, Maidstone

Regulation 19 consultation (February 2016)

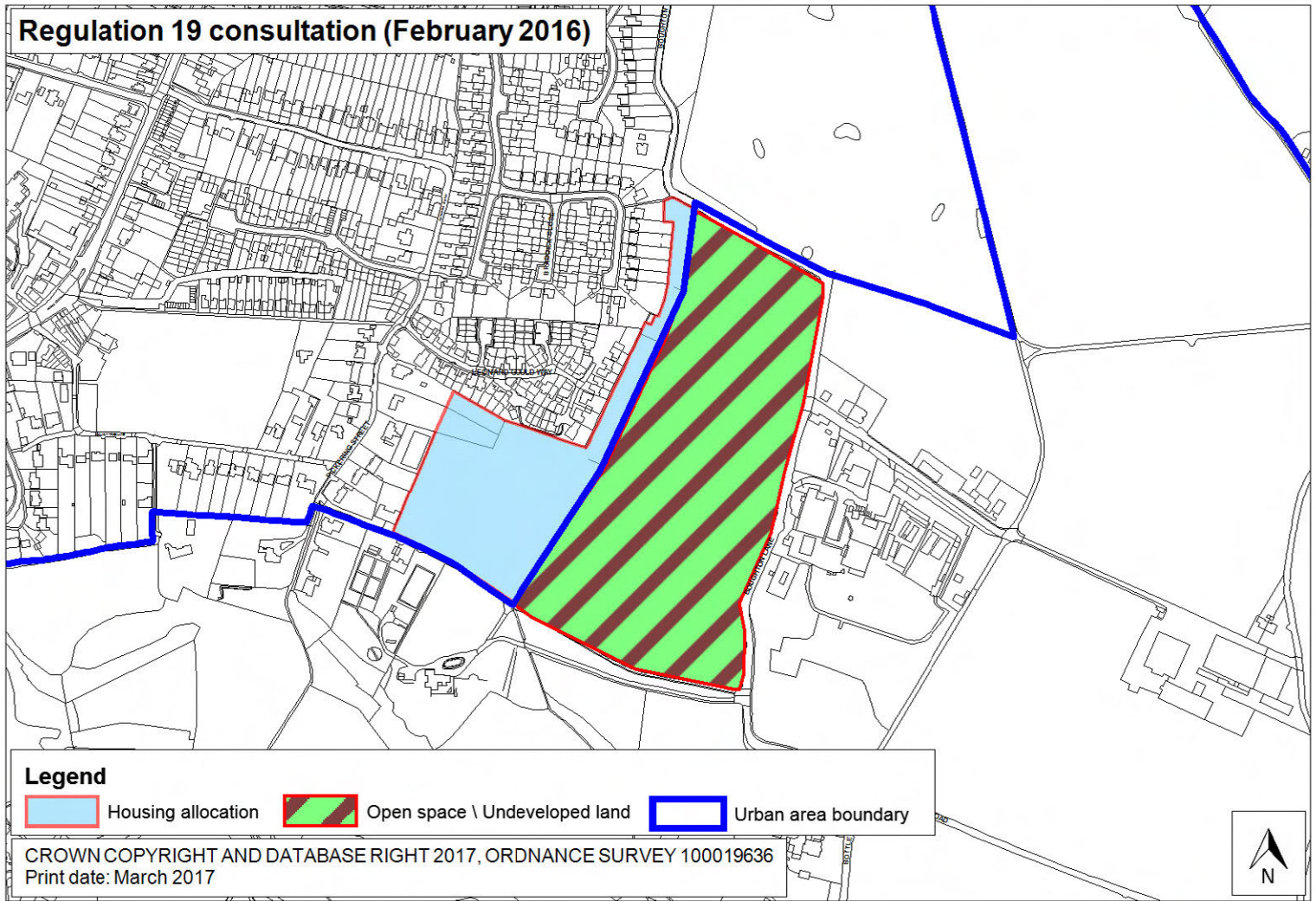


Proposed change (March 2017)



H1 (53) \ OS1 (15) - Boughton Lane, Boughton Monchelsea and Loose

Regulation 19 consultation (February 2016)



Proposed change (March 2017)

